

MODEINA



Siting & Design
Guidelines



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1. URBAN DESIGN GUIDELINES

1.1 Vision for Modeina

Offering a unique lifestyle to all those lucky enough to be part of the Modeina community, this development has been designed as a contemporary expression of a modern lifestyle – balancing smart urban amenity with traditional family values.

The Modeina community will eventually be 3,000 strong. Residents will enjoy walking and relaxing around nearly 2.5 kilometres of natural creek frontage, gathering at the park and social areas, and tending gardens and homes designed and built to the highest standards.

From beginning to end, Modeina is set to be the very essence of a modern Australian lifestyle.

1.2 Aim of the Design Guidelines

The aim of the guidelines is to achieve a high standard of housing design with an identifiable degree of visual cohesion.

All development at Modeina must comply with these guidelines. In exceptional circumstances variations to the guidelines will be considered provided that there is a positive contribution to the Modeina vision.

A registered Memorandum of Common Provisions (MCP) is applicable to all lots at Modeina. The MCP will simplify the process of securing building approval by putting in place a common set of rules that will take precedence over certain sections of the Building Regulations.

The MCP will remove your obligation to secure Report and Consent approval from the City of Melton for design items that do not comply with the Building Regulations.

All purchasers of lots must have their plans approved by the Design Review Panel (DRP) whose approval may be withheld in its absolute

discretion notwithstanding compliance with the guidelines.

Only a Registered Building Surveyor can issue a building approval and building approval cannot be granted until the DRP has approved the plans.

When completed, items of non compliance will require rectification prior to landscaping plans being approved. Refer to the Compliance section of these guidelines.

As required in your contract of sale, house construction must commence within 12 months and be completed within 24 months of settlement.

Modeina Siting and Design Guidelines and the MCP do not take the place of any State or Local Government design guidelines such as ResCode. Purchasers of lots at Modeina should contact the Local Council or their private Building Surveyor to ensure house designs comply with the MCP and other such guidelines.

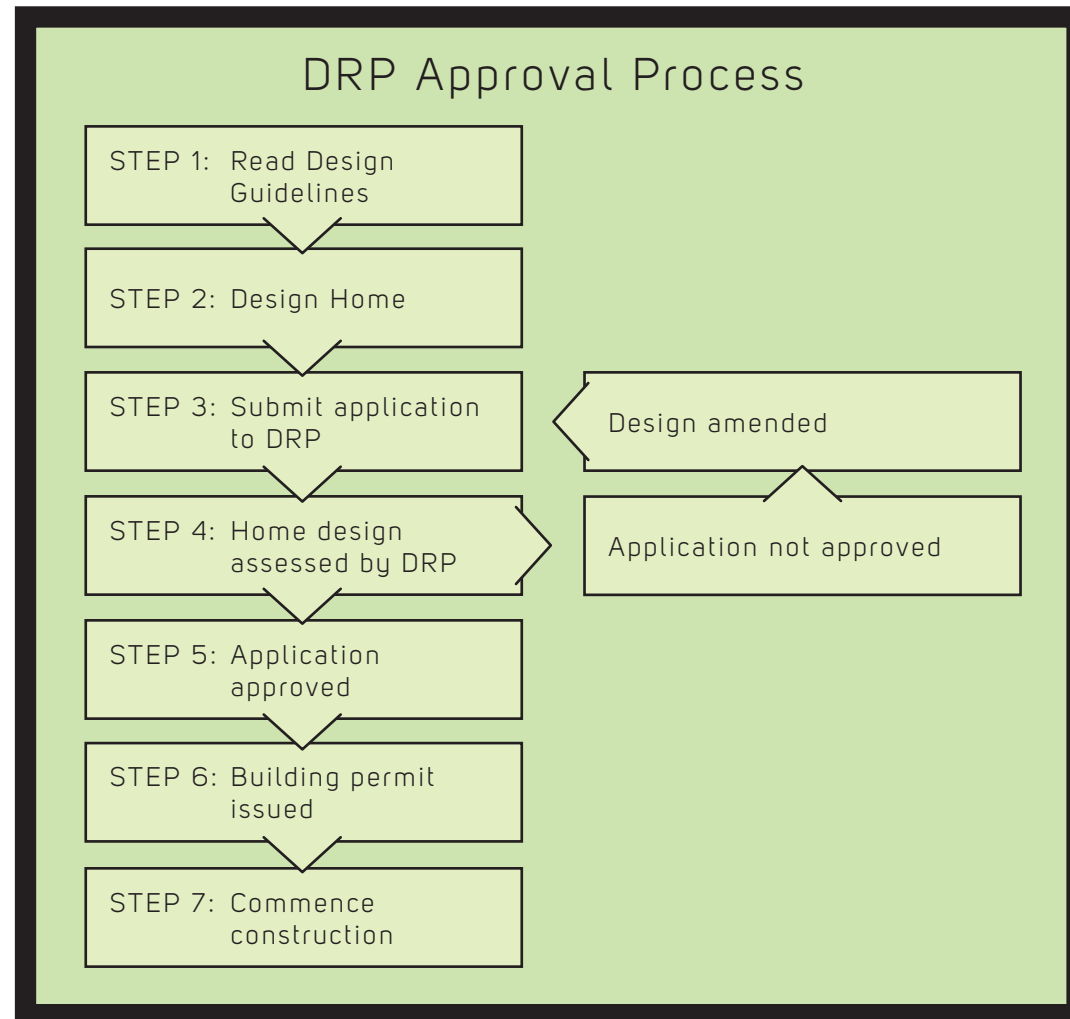
2. APPROVAL PROCEDURE

The DRP will provide information and advice to purchasers at Modeina regarding the application of the guidelines. Early contact with the Panel is recommended and will avoid unnecessary delay caused by non-compliance with the guidelines. In particular, advice can be provided at the initial concept plan stage and at the preliminary selection of materials, colours and finishes stage.

House approval is at the discretion of the DRP. No claims can be made against the Council, Burnside North Pty Ltd (BN) or their nominated representative with respect to any decision of the DRP.

Construction of houses, fences and garages on any lot at Modeina cannot commence until the DRP has approved plans and building approval has been issued.

The process is illustrated in the diagram right.



3. GUIDELINES

3.1 Building Envelopes

All lots are affected by a Building Envelope Plan. Details of the building envelopes are contained within the Plan of Subdivision. Development of lots must be in accordance with the Building Envelope Plan.

3.2 Architectural Style, Design and Materials

The design vernacular for Modeina is new Contemporary Australian. Designs mimicking period styles such as Edwardian, Federation, Colonial, Georgian, neo-classical, French Provincial and Victorian will not be approved. Second hand or kit homes will also not be approved.

All external walls including the front facade must be constructed of contemporary materials such as face brickwork, rendered or bagged brick, metal cladding or such other material as approved by the DRP.

3.3 Front Facade

The facade of the home is a key element that contributes to the vision of Modeina and accordingly, must demonstrate careful design and material composition. Period decorative elements such as finials, fretwork, wrought



Addison by Metricon.



Airlie by Boutique Homes.



Patan by Metricon.

iron, ornate timber works, turned posts etc are not in keeping with Australian contemporary architecture and will not be permitted.

The front facade must be articulated to prevent a flat and uninteresting interface with the public domain and comprise at least 2 different materials with at least one material comprising no less than 30% of the facade area.

Subject to the architectural design, eaves of at least 0.45 metres are required for the front facade, including gable roofs above entrance porticos and the full length of the facade addressing the secondary frontage or public space. Eaves must wrap around the other corners addressing the principal street frontage by at least 3 metres.

No light weight infill panels are permitted over windows and openings, including garage doors, that are visible from any road or public reserve unless part of an approved feature design.

All houses must address the principal street frontage and present a visible and identifiable entrance to the street. Features which may detract from the appearance of a house from the street, including small windows, obscure and

3. GUIDELINES

tinted glass or reflective, frosted or patterned film, window security shields, canvas and metal awnings, will not be approved.

As illustrated in the diagram to the right, facade designs that are the same or very similar to that of a home within 3 lots either side or on the opposite side of the street will not be approved.

Where a conflict arises preference will be given to the first submitted set of plans.

This requirement may be varied on lots designated "Medium Density".

3.4 Roof Design

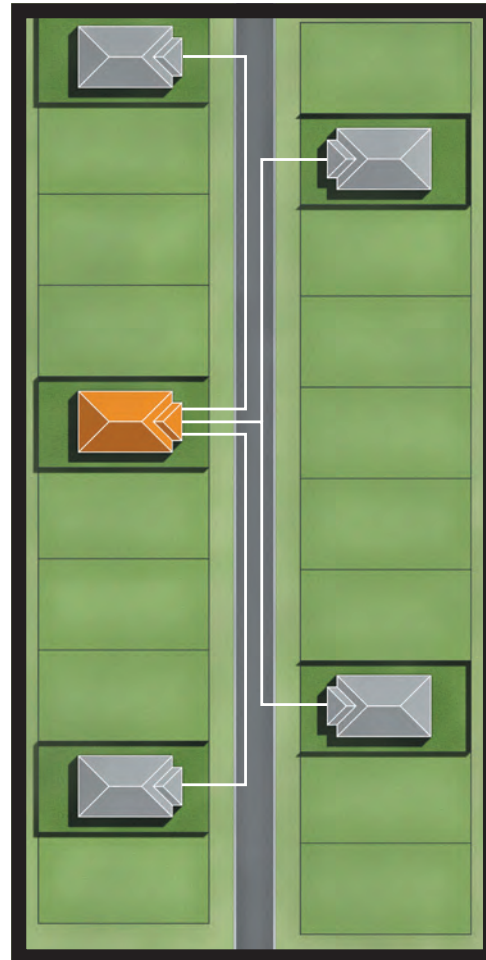
A minimum roof pitch of 22.5 degrees is required for two storey houses and associated garages.

A minimum roof pitch of 25 degrees is required for single storey houses and associated garages.

A reduced roof pitch will only be considered when part of an exceptional architectural design, or concealed behind a parapet wall.

Roof materials must be a matt finish shingle style or low profile cement or terracotta tile, slate, or matt finish powder coated metal.

Galvanised steel roofs, coved or shaped tiles will not be permitted.



Dwellings must not be of the same or very similar within 3 lots of the orange house (either side or on the opposite side of the street).

3.5 Number of Dwellings per Lot

Only one dwelling may be constructed on a lot unless the lot is designated a "Medium Density" or "Optional Medium Density" lot on the Building Envelope Plans.

3.6 Building Setbacks

Building setbacks vary and must comply with the Building Envelope Plan.

3.7 Front Setback

Unless otherwise shown on the Building Envelope Plan, a minimum setback of 4 metres is required between the building line of the house and the principal street frontage. Porticos, bay windows, balconies and feature projections will be permitted to encroach up to 1.5 metres within the front setback.

The maximum setback between the building line of the house and the principal street frontage is 6 metres.

On corner lots, a setback of 4 metres is required to the principal street frontage and 2 metres to the side (secondary) street frontage unless shown otherwise on the Building Envelope Plan.

3. GUIDELINES

Garages must be set back a minimum of 5.5 metres from the front property boundary and at least 0.5 metres behind the predominant building line of the home unless the front facade of the dwelling incorporates:

- A substantial verandah, portico, or feature element; or
- The dwelling is 2 storey and incorporates a substantial balcony or is articulated at the second storey to the satisfaction of the DRP.

If these elements are incorporated, the garage may be permitted to be constructed in line with the predominant building line but no closer than 5.5 metres to the front property boundary. Under these circumstances, the balcony, verandah or portico will be permitted to encroach up to 2.5 metres within the 5.5 metre setback.

The predominant building line does not include portico, veranda, or feature projections.

3.8 Side and Rear Setbacks

The minimum building setback is shown on the Building Envelope Plan.

Walls which are not on a boundary are to be set back a minimum of 1 metre.



Sun blinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic water tanks, and heating or cooling equipment or other services may encroach up to 0.5 metres into the side setback.

Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas and shade sails may encroach into the side and rear setback.

Walls on boundaries may have a maximum height of 3.6 metres and are not to exceed 15 metres in total length (including garage walls). Walls on boundaries are encouraged for garages



in order to maximise the front garden area.

3.9 Garages and Driveways

Each dwelling must have a garage. Carports are not permitted.

Only one driveway will be permitted for each lot and it must be located in accordance with the Building Envelope Plan. In some cases, changes to the position of crossovers will be permitted and the Building Envelope Plan identifies lots where changes can be made.

Changes will require approval of the DRP (whose approval can be withheld in its absolute discretion) and the City of Melton.

3. GUIDELINES

If the driveway is proposed to be relocated, permission must be sought as part of the housing approval application under these Guidelines.

The purchaser is responsible for all costs associated with removing the existing crossover, constructing the new crossover (including reinstating the landscaping in the affected area) and meeting any requirements of the City of Melton.

Driveways are a major element in the built environment and therefore the colour of the driveway should be carefully selected to complement the main facade of the house and the streetscape.

Approved finishes include:

- Exposed aggregate concrete finishes, or
- Coloured concrete.

Plain uncoloured concrete will not be permitted.

All driveways must be constructed prior to occupancy.

Driveways must match the width of the crossover at the property boundary.

The owner is to provide a 90mm PVC stormwater pipe 1 metre behind the road frontage for irrigation connection under the driveway.

Garage doors are a major visual element of the streetscape. Accordingly, doors facing the street are required to be panel lift or sectional and must be of a material and colour which complement the house.

The maximum total width of garage doors (whether single or multiple doors) facing a street is 40% of the width of the lot or 6 metres, whichever is the lesser.

The parking of commercial and utility vehicles including trucks, vans and trailers are to be accommodated within the garage and must not be visible from the street.

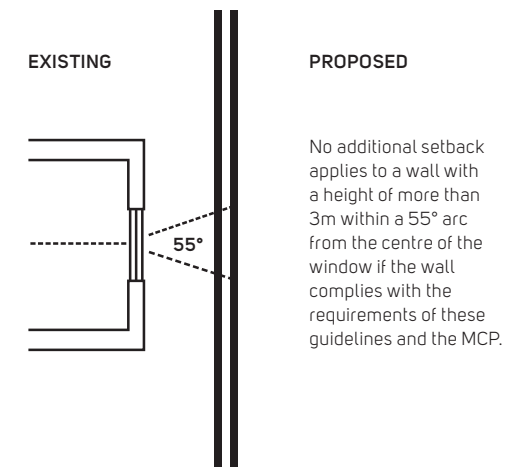
3.10 House Orientation and Solar Access

All dwellings must achieve an energy rating in accordance with current building regulations.

Where practicable, houses are to be sited to maximise the benefits of solar orientation i.e. habitable rooms and private open space face northwards to receive maximum solar energy.

3.11 Daylight to Existing Habitable Room Windows

Provided that the wall complies with the requirements of these guidelines and the MCP, a wall that exceeds 3.0 metres in height can be located opposite a Habitable Room window even though the setback from the window is not at least half the height of the wall if the wall is within the proximity as shown in the diagram below.



Wall setback from the window is not at least half the height of the wall.

4. CORNER LOTS

House facades on corner lots must be designed to address both the principal and secondary streets and the use of consistent architectural elements across these facades will be required.

Architectural elements used in the main facade must be replicated within the first 4 metres of the secondary street frontage. Other alternative treatments can be submitted for consideration by the DRP.

A building on a corner lot may encroach not more than 0.5 metres into the setback of the secondary street frontage for a maximum length of 10 per cent of the wall facing that frontage.

Elements such as porticos, verandas, and approved feature elements may encroach into the secondary street setback up to 1.5 metres.

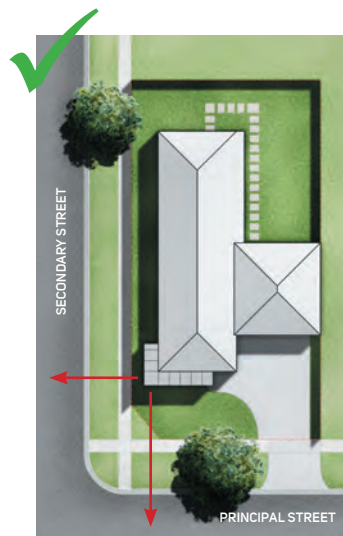
Habitable room windows must overlook the primary and secondary street and external services must not be visible from a street or a public space.

Eaves are required for the full length of the building addressing the secondary frontage.

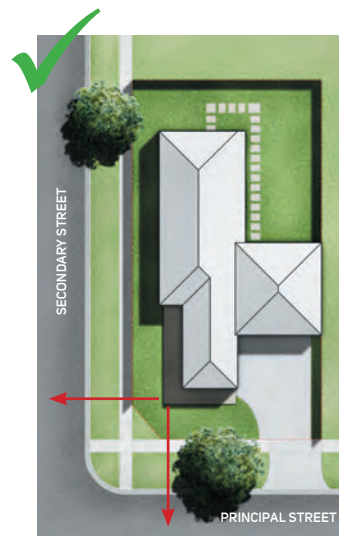
The main entry of the house must address the primary street frontage.

The following diagrams illustrate acceptable corner solutions.

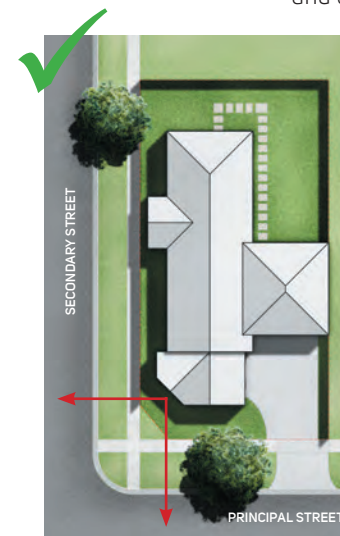
If in doubt about whether your house design will comply with corner lot requirements, it is strongly recommended that you submit a preliminary design to the DRP for comments and advice.



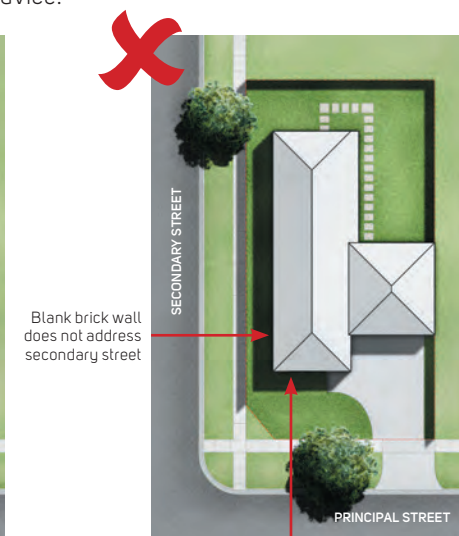
Utilise wrap around verandahs



Design for a stepped facade



Angled and corner bay windows help address both street frontages



Blank brick wall does not address secondary street

Front flat facade does not address primary frontage.

5. LANDMARK LOTS

Lots designated LL (Landmark Lots) present an opportunity to illustrate Modeina’s unique lifestyle opportunity and the quality of the architecture and urban environment. These lots can be located on street corners, adjacent to park land or Kororoit Creek or are simply highly visible from within and from outside the development.

Consequently, particular attention must be paid to the design and siting of housing on these lots. In addition to any other requirement, houses on Landmark Lots must be designed to address the principal street frontage, the secondary street or other adjacent or abutting public interface and incorporate all of the items in **Table A**.

Items in **Table B** are not permitted.

TABLE A - ITEMS REQUIRED

Subject to the architectural design, eaves of at least 0.45 metres are required for the front facade and the full length of the facade addressing the secondary frontage or public space. Eaves must wrap around the other corners by at least 3 metres.

Architectural elements or treatments used in the main facade must be replicated at a minimum within the first 4 metres of a secondary street frontage or other public interface.

Other alternative treatments can be submitted for consideration by the DRP.

Ceiling height must be at least 2.7 metres.

Awnings, porches, verandahs or such other feature elements that are in keeping with the architectural style of the house are required to provide interest and articulation to the facade.

A balcony at the first floor level if the lot is designated a 2 storey lot.

TABLE B - ITEMS NOT PERMITTED

Blank unarticulated walls

Open front garages

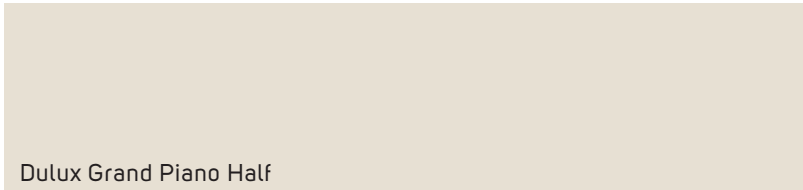
Front fences

Roller shutters to windows

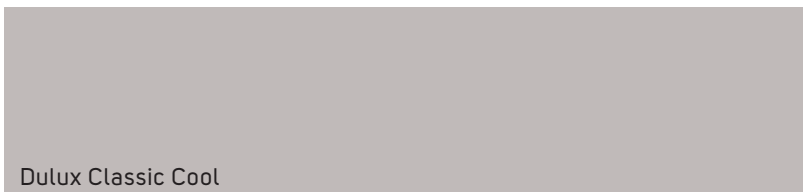
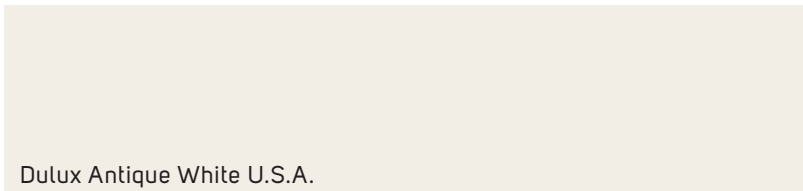
6. COLOUR PALETTE

Light Palette

Window Frames & Barge Boards



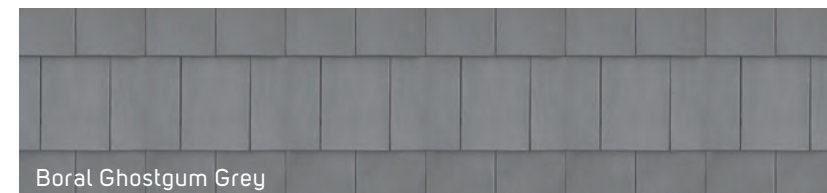
Walls



This section outlines a range of finishes considered to provide for individual colour selection yet maintaining harmony and cohesion within the streetscape.

The two palettes represent a light and medium selection of colours that can be combined. The DRP will consider additional colours outside of this range provided the design intent of Modeina is maintained. In both cases, colours for window frames and barge boards can be picked out to present highlights however, it is considered important that the external wall surfaces would be in the lighter palette colour range.

Roofs



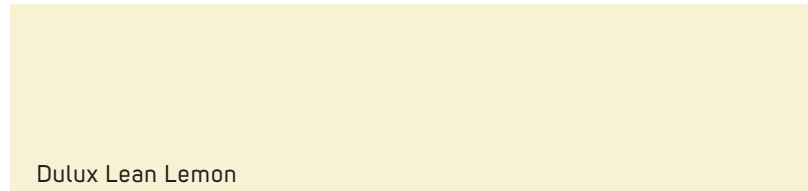
6. COLOUR PALETTE

Medium Palette

Window Frames & Barge Boards

By setting the palettes in the light to mid range, there is scope for their broad interpretation across widely varying house types, resulting in a community that is visually cohesive and yet varied in its details and hues.

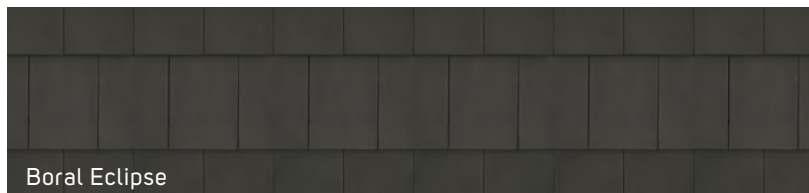
Darker roofs will anchor the buildings to the ground plane, blending a sense of dignity and smartness to the appearance of the development.



Walls



Roofs



7. FENCING

7.1 General

Fencing is the obligation of the lot owner and must be completed within 60 days of occupation.

In some cases, the Developer will construct feature fencing to open space and lot boundaries designated in the MCP. Lot owners cannot remove or change the appearance of these fences without the written approval of both the DRP and the City of Melton and will be responsible for maintaining these fences in good order.

7.2 Front Fences

No front fence is permitted.

7.3 Side and Rear Fences

Unless otherwise specified, all side and rear fences must be timber paling, capped and lapped with exposed posts as illustrated and cannot exceed 1.98 metres in height. Fences on side boundaries are not permitted beyond 1 metre behind the building line of the house. Side wing fencing must be consistent with the fence requirements. Gates must complement the style and character of the house.

7.4 Corner Lot Fences

On corner lots the fence along the secondary frontage must be setback from the front building line by a minimum of 4 metres and comply with the side and rear fencing requirements. This fence must conceal any hot water unit, heating, air conditioning or other plant and equipment.

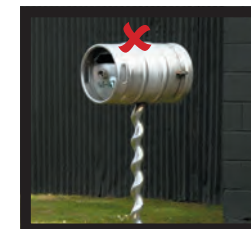


8. LETTERBOXES

Letterboxes must be positioned on the front boundary adjacent to the driveway with the house number clearly displayed. It must be a rendered column design and the colour should be carefully selected to complement the main facade of the house and the streetscape.

Temporary, ornamental and timber paling letterboxes will not be permitted.

The location, style and colour of the letterbox must be provided on the plans for approval.



9. EXTERNAL FIXTURES AND SERVICES

The position of the following external fixtures must achieve the objective stated below.

9.1 Clotheslines and Garden Sheds

Clotheslines and garden sheds must not be visible from the street or public spaces.

9.2 Roof Mounted Solar Hot Water and Photo-voltaic Panels

These panels must not be mounted facing the principal street frontage unless of a low profile and colour to match the roof. However, on corner lots panels may be located on the roof facing the secondary street frontage.

9.3 External Hot Water Services and Ducted Heating Units.

These units must not be visible from the street or a public space.

9.4 Television Antennae

Television antennae must be located within the roof of the house.

9.5 Satellite Dishes

Satellite dishes must not be visible from the street or other public spaces.

9.6 Air-conditioning and Evaporative Cooling Units

Air-conditioning units must be located below the eaves line, screened from public view and be suitably baffled to reduce noise. Evaporative cooling units must be located below the roof ridgeline and at the rear of the house, be low profile and the colour must match the roof colour.

9.7 Irrigation and Water Tanks

All lots are to have at least a 3000 litre water tank connected to an irrigation system. Water tanks must not be visible from the street or other public spaces.

The purchaser will be responsible for the purchase and installation of the water tank.

An irrigation system is to be installed to all front gardens and must be a dripper system to avoid water losses from spray irrigation systems, and include a timer able to be set to function at night. The irrigation system and connection to the water tank will be the responsibility of the owner.

9.8 Signage

The promotion of houses for sale and the advertising of builders during the construction of a house will be limited to one sign for each property unless the DRP gives prior approval.

10. TELECOMMUNICATIONS

Modeina will be provided with "fibre to the home" high speed broadband infrastructure, offering access to high speed broadband internet, telephone, digital "free to air" television and pay television as well as possible future services such as IPTV, home security, video on demand and more.

It is important to ensure that your home is capable of connecting to the fibre network and is

"smart" wired appropriately within the home to deliver the digital services available on the cable. Connection to a copper wire phone network is not available.

The fibre cable will be installed in the street however it is necessary for you to arrange for the extension of the cable to your house and appropriate connection. This will require a wiring configuration which is consistent with these

services and which may require a dedicated power supply for the telecommunications equipment.

11. MAINTENANCE AND BUILDER DEBRIS

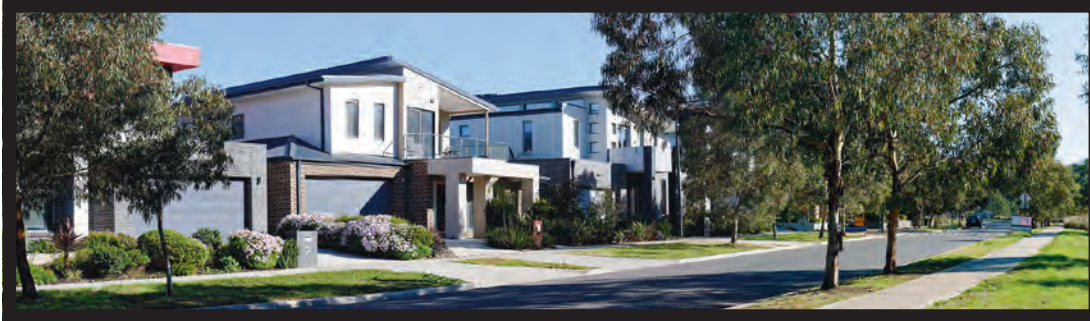
Vacant allotments must be regularly maintained. This includes but is not limited to the following:

- Mowing of grass including nature strips / verges, including the secondary street frontage of corner allotments;
- Removal of litter, rubbish and other debris.

The City of Melton Local Law for building sites requires all building debris to be contained within the property boundaries and within a refuse receptacle with a fixed, closed lid. You must ensure your builder complies with this Local law and empties them immediately they are full.



12. LANDSCAPING



The vision for the Modeina Community places a strong emphasis on the quality of the landscaped parks, streetscapes and gardens. Appropriate front garden design, material and plant selection therefore forms an integral part of the overall neighbourhood character and will ultimately improve the look and increase the value of your home.

12.1 Landscape Approval and Installation Options

You must submit a landscaping plan for the front garden for approval by the DRP no sooner than 30 days before you anticipate the issue of your occupancy permit. The landscaping plan must comply with the design standards set out in Section 13 of these guidelines.

Your front garden must be installed within 90 days of the issue of the Certificate of Occupancy, unless this is issued between 1st November and 31st January in which case this landscaping

must be completed by no later than 30th April (allowing for landscapes to be installed outside of the summer months).

12.2 Designing Your Garden

It is important to consider a garden design that will be most complementary to the style of your house. You should also pay attention to the house plan and the location of windows, porch and driveway, in order to maximize views and access, whilst allowing for screening and privacy and also ensure that all components such as paths and letterboxes can be accommodated

within the design. Finally, design a garden which will most suit your lifestyle. Consider the level of care and maintenance you would like to contribute to the garden. Also consider how you will use this space.

Prior to the installation of your front garden, the following should be considered.

- The construction of the house (including driveway) has been completed
- All rubbish, rubble, weeds and vegetation etc. has been removed
- A suitable grade has been provided across all areas to be landscaped
- A 90mm PVC stormwater pipe has been installed under the driveway, offset 1m from the front title boundary (for irrigation connection)

As a general rule, construction of the front gardens is not to be undertaken during the summer months. Home owners will need to plan for and make arrangements for temporary access to their front gardens in the interim period between occupancy and completion of their front garden landscaping.

13. LANDSCAPE DESIGN STANDARDS

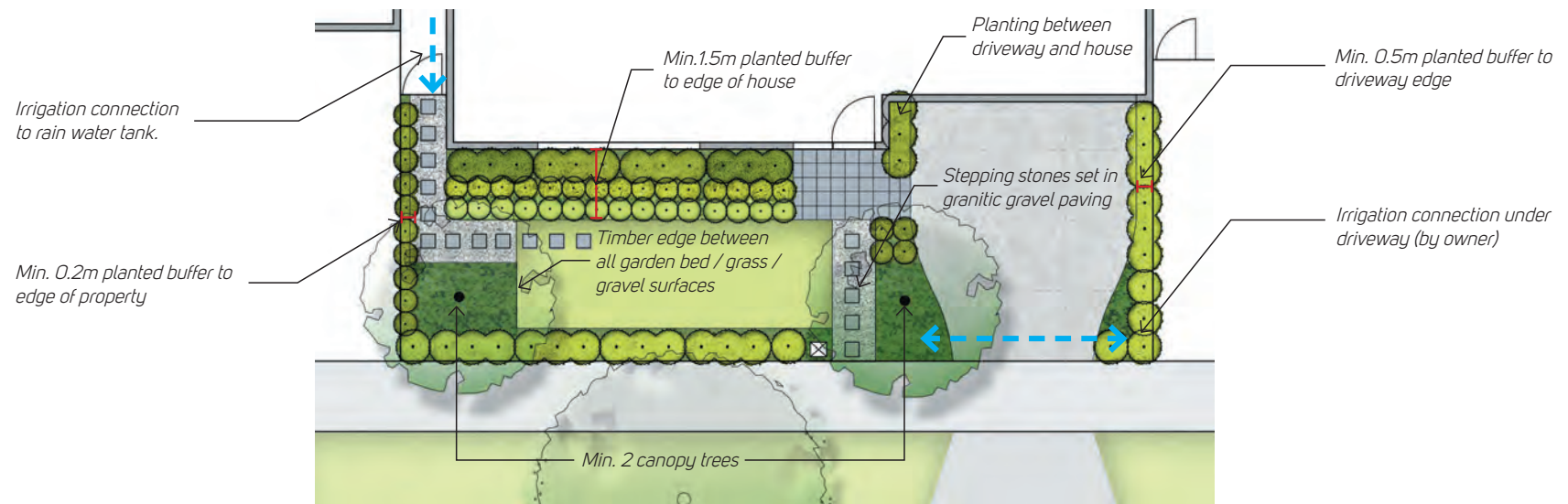
13.1 General

Should you choose to install the garden yourself, or with the assistance of your landscape contractor, the guidelines outlined in this document must be adhered to.

13.2 Minimum Landscape Requirements

The minimum landscape requirements are as detailed below. You may install larger plants if you wish. Each front garden must have the following:

- 2 large trees (min. 1.5m high)
- Shrubs and groundcovers installed in accordance with the schedule (min. 150mm pot size diameter)
- 80mm depth of mulch to all garden beds (keep mulch away from base of plants)
- 200mm minimum depth of topsoil to garden beds; 100mm depth of topsoil to natural lawn areas (if lawn is used)



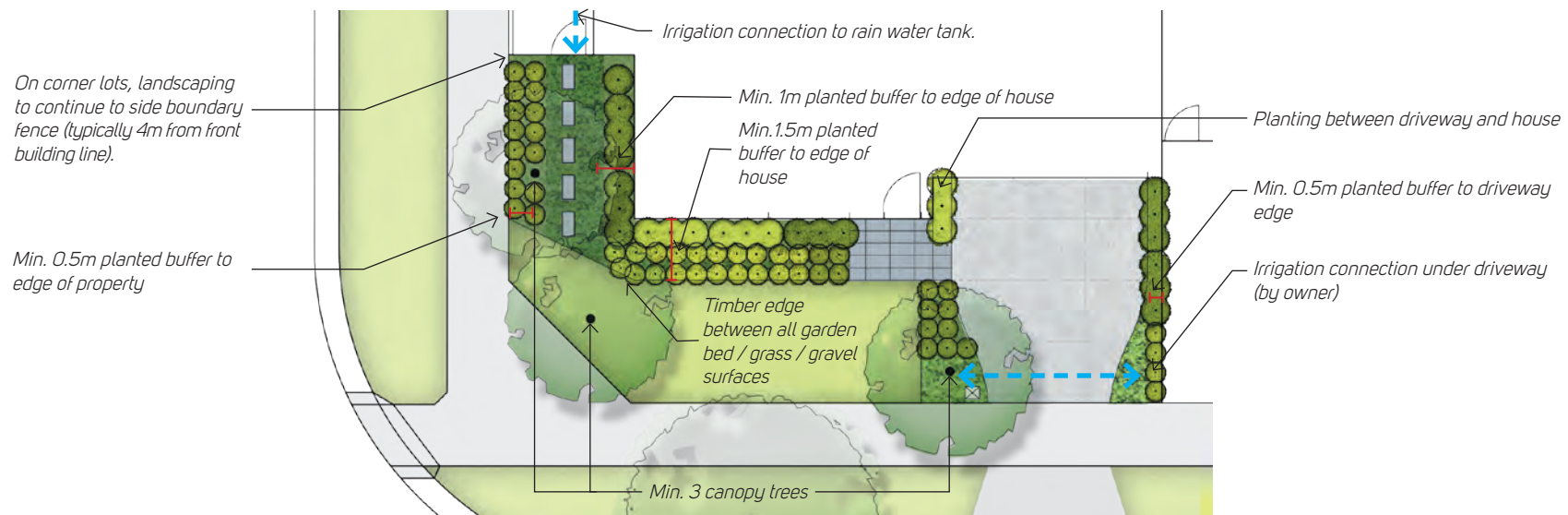
Plan A: Standard Lot - typical minimum requirements (layout will vary depending on chosen design)

13. LANDSCAPE DESIGN STANDARDS

- An automatic drip irrigation system connected to rain-water tank
- If lawn is used, then install pre-grown warm season turf (Kikuyu species or approved equivalent) or approved artificial turf variety
- Letterbox with house number attached

On the following pages the Landscape Design Standards outline the approved materials, mulches, lawn and plants that can be used in your front garden.

In addition to the above, the minimum requirements outlined in **Plan A** and **Plan B** below must be adhered to for all front gardens.



Plan B: Corner Lot - typical minimum requirements (layout will vary depending on chosen design)

13. LANDSCAPE DESIGN STANDARDS

13.3 Paths

Paths are to be composed of stepping stones set in granitic gravel or planting. Acceptable path materials are:

- Crushed granite (Granitic Gravel, Lilydale Toppings) - minimum 75mm compacted depth
- Precast concrete stepping stones - minimum 40mm depth
- Natural stone stepping stones - minimum 20mm depth

Where possible, materials should be locally sourced.



13.4 Mulches

A minimum 80mm mulch layer to garden beds helps to smother weeds and reduces water usage by decreasing evaporation. In the current climatic conditions, mulches are a sensible alternative to lawns. Acceptable mulch materials are as follows:

- Organic pine mulch in colours black or natural

Organic mulch should be recycled and sourced locally.

It should be relatively fine, free from contaminants, and dark or mid-brown in colour.



13. LANDSCAPE DESIGN STANDARDS

Notched Curved Timber Edging



Curved timber edging must be notched to create a smooth curve

Straight Timber Edging



32mm wide timber edging creates straight, neat lines

Brick Edging



Brick, rock, concrete, plastic or other edging are not permitted

Concrete Edging



13.5 Garden Edging

To keep the edges of the garden beds and paths neat and easy to maintain, timber edging must be installed. Use 25mm thick timber edging because it will not warp over time and become unsightly. When installing on a curve the timber edging must be notched to create a smooth curve. Facetted curves are not acceptable. Acceptable timber edging is:

- 25mm treated pine with stakes 900mm apart flush with adjacent paving surfaces

13.6 Lawn

Lawn areas are to present in a neat and tidy manner with the lawn height to be kept between 40 and 75mm. Acceptable lawn types are as follows:

- Warm season lawn (pre-grown turf) such as 'Kikuyu' species (or approved equivalent).
- Artificial lawn which presents in a natural fashion with colour and height variation such as 'Leisurescape Premium 55 Pro-turf' (or approved equivalent).

'Kikuyu' Lawn



Kikuyu lawn is hardy, low maintenance and presents well throughout the year.

Natural Looking Artificial Lawn



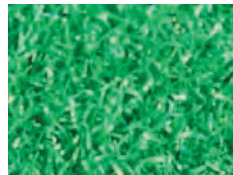
Artificial lawn with height and colour variation

Low Artificial Lawn



Low height artificial lawn without height variation

Bright Coloured Artificial Lawn



Bright coloured artificial lawn without colour variation

13.7 Irrigation

Each dwelling must have an automatic drip irrigation system in their front garden (including pump and timers etc. required in order for the system to function as designed). All irrigation systems must be drawn from the 3000L water tank system (by owner). Drip emitter irrigation systems within garden beds and lawn areas are required. Spray systems are not permitted. The irrigation system should be set on a timer for minimum water use (night operation).

13. LANDSCAPE DESIGN STANDARDS

13.8 Approved Plant Species

The plant species selected for the Approved Plant Species List have been chosen for their hardiness, appropriateness to site (water requirements, soil, climate), seasonal interest and ability to complement and enhance the built form. Many of the plants are Australian natives which have the added advantage of attracting native birds.

KEY	BOTANICAL NAME	COMMON NAME	MATURE SIZE (H x W)	SPACING	ORIGIN	D/E
GRASSES & STRAPPY-LEAFED PLANTS						
ABP	Agapanthus 'Black Pantha'	Black Pantha African Lily	1 x 1	500 c/c	EX	E
ARC	Arthropodium cirratum	Matapouri Bay	0.85 x 1	400 c/c	EX	E
DCB	Dianella caerulea 'Breeze'	Breeze Flax Lilly	0.7 x 0.65	500 c/c	A	E
LNy	Lomandra 'Nyalla'	Lomandra Nyalla	0.6 x 0.5	400 c/c	A	E
LLT	Lomandra 'Tanika'	Dwarf Lomandra	0.5-0.6 x 0.6	400 c/c	A	E
OTM	Orthrosanthus multiflorus	Morning Flag	0.5 x 0.4	400 c/c	A	E
PPL	Pennisetum alopecuroides 'Purple Lea'	Fountain Grass	0.9 x 0.9	500 c/c	A	E
STR	Strelitzia reginae	Bird of paradise	1.8 x 1	750 c/c	EX	E



ABP



ARC



DCB



LNy



LLT



OTM



PPL



STR

FRONT GARDENS - APPROVED PLANT SPECIES LIST Note: EX = exotic, A = Australian native, D = deciduous, E = evergreen
c/c = centre to centre

13. LANDSCAPE DESIGN STANDARDS

KEY	BOTANICAL NAME	COMMON NAME	MATURE SIZE (H x W)	SPACING	ORIGIN	D/E
TREES (Installation size: 1.2-1.6m high).						
CYF	<i>Corymbia ficifolia</i> 'Wildfire'	Red Flowering Gum	5-6 x 3-4	Min 3m*	A	E
CFQ	<i>Corymbia ficifolia</i> 'Calypso Queen'	Dwarf Red Flowering Gum	5 x 4	Min 3m*	A	E
ECS	<i>Eucalyptus caesia</i> 'Silver Princess'	Silver Princess	7 x 5	Min 3m*	A	E
ERT	<i>Eleocharis reticulatus</i>	Bleberry Ash	6-8 x 4-6	Min 3m*	A	E
LAY	<i>Lagerstroemia indica</i> x <i>L. fauriei</i> 'Yuma'	Crepe Myrtle	3 x 4	Min 3m*	EX	D
MCD	<i>Michelia doltsopa</i>	Wong-lan	12 x 4	Min 3m*	EX	E
MXS	<i>Magnolia x soulangeana</i>	Tulip Magnolia	6 x 5	Min 3m*	EX	D
MIP	<i>Malus ioensis</i> 'Plena'	Betchel Crab Apple	8 x 5	Min 3m*	EX	D
MLG	<i>Magnolia</i> 'Little Gem'	Little Gem Magnolia	4 x 1.5	Min 3m*	EX	E
PWG	<i>Pyrus calleryana</i> 'Winter Glow'	Winter Glow Pear	10 x 5	Min 3m*	EX	D
TTL	<i>Tristaniopsis laurina</i> 'Luscious'	Kanooka	7-12 x 5-8	Min 3m*	A	E



CYF



CFQ



ERT



ERT



LAY



MCD



MIP



MLG



MXS



PWG



TTL

FRONT GARDENS - APPROVED PLANT SPECIES LIST Note: EX = exotic, A = Australian native, D = deciduous, E = evergreen

* And no closer than 2m to edge of building.

13. LANDSCAPE DESIGN STANDARDS

KEY	BOTANICAL NAME	COMMON NAME	MATURE SIZE (H x W)	SPACING	ORIGIN	D/E
MEDIUM SHRUBS						
ABG	Abelia grandiflora	Abelia	1.5x1.5	750 c/c	EX	E
ACL	Acacia cognata 'Limelight'	Limelight Wattle	1 X 1	500 c/c	A	E
ASM	Acmena smithii 'Minipilly'	Dwarf Lilly-pilly	2 x 2	600 c/c	A	E
BXS	Buxus sempervirens 'Handsworthiensis'	Handsworthiensis English Box	1.5 x 1	500 c/c	EX	E
CHO	Choisya ternata	Mexican Orange Blossom	1.2 x 1.2	600 c/c	EX	E
CLJ	Callistemon 'Little John'	Little John Bottlebrush	1 x 1	500 c/c	A	E
EPP	Escallonia 'Pixie Pink'	Dwarf Escallonia	1 X 1	500 c/c	EX	E
HBI	Hebe inspiration	Inspiration Hebe	0.5-1.2 x 1	750 c/c	EX	E
HEB	Hebe buxifolia	Box leaf Hebe	1 X 1	500 c/c	EX	E
HBS	Hebe 'Snowdrift'	Snowdrift Hebe	1 x 1	500 c/c	EX	E
HWM	Hebe 'Wiri Mist'	Wiri Mist Hebe	1.5 x .75	600 c/c	EX	E
LSS	Leucadendron 'safari sunset'	Safari Sunset	2 x 2	750 c/c	EX	E
MVT	Metrosideros collina 'Tahiti'	Dwarf Metrosideros	1 X 1	500 c/c	EX	E
RSM	Raphiolepis 'snow maiden'	Snow maiden	1 x .75	500 c/c	EX	E
WTL	Westringia longifolia	Long leafed Westringia	2 x 2	750 c/c	A	E
WWG	Westringia 'Wynyabbie Gem'	Wynyabbie Westringia	1.5 x 1-1.25	600 c/c	A	E



ABG



ACL



ASM



BXS



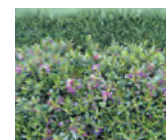
CHO



CLJ



EPP



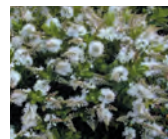
HBI



HEB



HBS



HWM



LSS



MVT



RSM



WTL



WWG

FRONT GARDENS - APPROVED PLANT SPECIES LIST Note: EX = exotic, A = Australian native, D = deciduous, E = evergreen

c/c = centre to centre

13. LANDSCAPE DESIGN STANDARDS

KEY	BOTANICAL NAME	COMMON NAME	MATURE SIZE (H x W)	SPACING	ORIGIN	D/E
SMALL SHRUBS/GROUNDCOVERS						
CDB	Correa 'Dusky Bells'	Dusky Bells Correa	0.7 X 1	500 c/c	A	E
BXE	Buxus sempervirens 'Blauer Heinz'	Blauer Heinh English Box	0.5 x 0.5	400 c/c	EX	E
DLJ	Dianella caerulea 'Little Jess'	Blue Flax Lily	0.3-0.4 x 0.3	300 c/c	A	E
JNC	Juniperus conferta	Shore Juniper	0.6 x 1	500 c/c	EX	E
LTC	Lomandra contertifolia 'Little Con'	Little Con Lomandra	0.3 x 0.3	300 c/c	A	E
MPP	Myoporum parvifolium	Creeping Boobialla	0.2 x spreading	500 c/c	A	E
OPJ	Ophiopogon japonicus	Black Mondo Grass	0.2 x 0.2	300 c/c	EX	E
TRJ	Trachelospermum jasminoides	Chinese Star Jasmine	0.4 x spreading	500 c/c	EX	E
VNM	Vinca minor	Periwinkle	0.1 x spreading	500 c/c	EX	E



CDB



BXE



DLJ



JNC



LTC



MPP



OPJ



TRJ



VNM

FRONT GARDENS - APPROVED PLANT SPECIES LIST Note: EX = exotic, A = Australian native, D = deciduous, E = evergreen

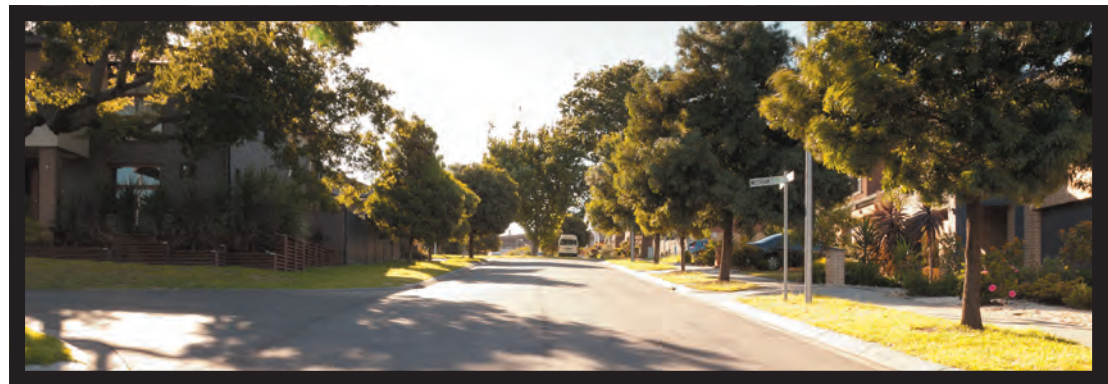
c/c = centre to centre

13. LANDSCAPE DESIGN STANDARDS

13.9 HANDY TIPS ON HOW TO INSTALL YOUR GARDEN

Whether you choose to undertake the garden installation yourself or engage a professional landscape contractor, here is a checklist of things you should consider whilst undertaking the works:

- Begin by carrying out any earthworks such as levelling, excavation of existing site soil (to allow for the imported topsoil required for garden bed and lawn areas) and drainage works to ensure all areas drain properly.
- Cultivate (thoroughly dig through) garden beds and lawn areas before planting. Use gypsum to break up clay soils and add compost or other rotted organic matter to any soil before cultivation.
- Ensure that the depth of topsoil in garden beds is at least 200mm and 100mm in natural lawn areas.
- If planting trees closer than 2m to the house, consider installing a root barrier between the tree and building.
- In warm weather, plant during the cooler parts of the day.
- Place the plants in the pots in the proposed locations prior to planting to ensure that the spacings look good and are correct as per the Approved Plant Species List.
- Make the hole twice the diameter of the pot, but not deeper. Gently tease out the roots from the pots. Mix a slow release fertiliser in the soil which will be placed around the plant.
- Thoroughly water all plants immediately after planting.
- Support large shrubs and trees with stakes and soft webbing or cloth ties. (Remove the stakes after approximately 12 months).
- Apply 80mm depth of mulch to garden beds to conserve water and smother weeds. Keep the mulch away from the base of plants.
- Install drip irrigation system and connection to rain water tank (incl. all timers and pumps as required).



14. COMPLIANCE WITH THE GUIDELINES

14.1 Acknowledgement

The purchaser acknowledges that they have received a copy and read the Siting & Design Guidelines and agree to comply with all terms & conditions of the same.

14.2 Construction of your Dwelling

In order to ensure the orderly development of the estate, the purchaser is obligated under the contract of sale to build a dwelling on the land with construction to be commenced (evidence of footing or slab) within 12 months of the payment of the balance and completed (evidence of Occupancy Permit) within 24 months of the payment of the balance.

14.3 Non-Compliance

Upon receipt of a letter from BN advising a breach of the Siting & Design Guidelines, the purchasers shall forthwith rectify the breach.

If the breach is not rectified within one month or a second letter is received from BN in regards to the same breach, then the Purchasers shall pay a fine of \$500.00 per week to the Modeina Community Fund until the breach is rectified.

If after the expiration of a further month the breach has not been rectified, the BN may at its discretion issue court proceedings to enforce compliance with the Siting & Design Guidelines.

.....

Purchaser's name

.....

Purchaser's signature

Date:

15. APPLICATION FOR HOUSE DESIGN APPROVAL

Special provisions apply to the siting and design of houses at Modeina. The following checklist will ensure that your house complies with the guidelines and any variations are clearly identified for consideration by the DRP.

Complete and attach a scanned copy of this coversheet and checklist to your application to the Modeina DRP.

Modeina allotment details

Lot Number.....

Street.....

Owner details

Full name.....

Mailing address.....

.....

.....

Phone BH.....

Mobile.....

Email.....

Builders Details

Contact name.....

Company.....

Mailing address.....

.....

.....

Phone.....

Email.....

Design Details (if applicable)

House type.....

Facade type.....

Owner to complete

I / We certify that the information in the attached application is a true and accurate representation of the home I / We intend to construct. In the event that changes are made to the proposed plans, I / We undertake to resubmit this application for approval of such changes.

Signed.....

Name.....

Date.....

A set of plans, the material and colour schedule & a fully completed checklist must be submitted online to: modeinadrp@denniscorp.com.au

The DRP at Modeina welcomes enquiries about your housing design for Modeina and encourages you to discuss your preliminary plans to avoid unnecessary delay due to non-compliance.

All house plans at Modeina require approval from the DRP.

If your plans meet the Siting and Design Guidelines, you can expect your plans to be approved by the DRP within 10 business days.

Additionally, a building approval will be required from a Registered Building Surveyor.

15. APPLICATION FOR HOUSE DESIGN APPROVAL

To be submitted with the Design Approval Form,
Site Plan (1:200 scale) showing:

- Street address and lot details
- Property boundaries and easements
- Finished floor levels
- Private open space
- North point
- Building envelope
- Boundary setbacks
- Building outline and extent of overhangs
- Location of adjacent buildings showing habitable room windows
- Driveways and material finish
- Height and construction of all fences
- Location of solar panels
- Location of rain water tank
- Proposed cut and fill (if applicable)
- Retaining walls (if applicable)
- Any structures including (but not limited to) outbuildings, sheds, pergolas, gazebos, pools etc.

Floor Plan (1:100 scale) showing:

- Room names and areas
- Internal and external dimensions
- Location of meter box
- Location of hot water tank
- Location of Fibre To The Home patch panel

Elevations (1:100 scale) showing:

- Of all sides of the building
- Indication of existing and proposed floor and site levels
- Location and extent of proposed materials and colours
- Position of solar panels, air conditioning/evaporative cooling units, satellite dishes and aerials
- Roof pitch and heights

Materials and colour schedule

- Walls; Roof; Trim inc. Gutter, Fascia etc; Garage Door; Front Door; Render ; Other Facade Elements e.g. feature beams, stone stacks etc; Driveways/Paths; Meter box; Air-conditioning/Evaporative cooling Units; Letterbox

16. APPLICATION FOR LANDSCAPE DESIGN APPROVAL

The following checklist will ensure that your garden design complies with the guidelines and any variations are clearly identified for consideration by the DRP.

Complete and attach a scanned copy of this coversheet and checklist to your application to the Modeina DRP.

Modeina allotment details

Lot Number
Street
.....
.....

Owner details

Full name
Mailing address
.....
.....
Phone BH
Mobile.....
Email.....

Landscaper/Designer Details (If applicable)

Contact name
Company
Mailing address
.....
.....
Phone BH
Mobile.....
Email.....

PRE INSTALLATION REQUIREMENTS

All of the below must be completed in order for your garden installation to begin.

- The construction of the house (including driveway) has been completed in accordance with the guidelines
- A certificate of occupancy has been provided to BN
- All rubbish, rubble, weeds and vegetation etc. has been removed
- A level grade has been provided across all areas to be landscaped.

- A 90mm PVC stormwater pipe has been installed under the driveway, offset 1m from the front title boundary (for irrigation connection)

Anticipated date of Certificate of Occupancy:

.....

Owner to complete

I / We certify that the information in the attached application is a true and accurate representation of the home I / We intend to construct. In the event that changes are made to the proposed plans, I / We undertake to resubmit this application for approval of such changes.

Signed

Name in print

Date

A set of plans, the plant list & a fully completed checklist must be submitted online to: modeinadrp@denniscorp.com.au

All landscape plans at Modeina require approval from the DRP.

If your plans meet the Guidelines, you can expect your plans to be approved by the DRP within 10 business days.

